

SCHEDULE OF ACCOMMODATION		
Ground Maintenance Garage 160.8sqm / 1,730sqft	Plant Room 13.4sqm / 144sqft	PHASE 1
Boiler Room 13.4sqm / 144sqft	Tank Relocation 7.1sqm / 79sqft	
Reception 44sqm / 473sqft	Kitchen 30sqm / 322sqft	PHASE 2
Office 7.5sqm / 80sqft	Community Room (inc store) 96.1sqm / 1034sqft	
First Aid Room 8.6sqm / 92sqft	Bar 9.1sqm / 98sqft	
Female WC 11.3sqm / 121sqft	Storage/Private Office 1 17.2sqm / 185sqft	
Male WC 11.3sqm / 121sqft	Storage/Private Office 1 17.2sqm / 185sqft	
Disabled WC 3.5sqm / 37sqft	Meeting Room (inc store) 48.2sqm / 519sqft	
Cricket Score Box 8sqm / 86sqft	Office 9.7sqm / 104sqft	
Changing Room 1 49.5sqm / 532sqft	Officials Room 1 12.7sqm / 136sqft	PHASE 3
Changing Room 2 49.5sqm / 532sqft	Officials Room 2 12.7sqm / 136sqft	
Changing Room 3 49.5sqm / 532sqft	Store 1 4.4sqm / 47sqft	
Changing Room 4 49.5sqm / 532sqft	Store 2 4.4sqm / 47sqft	
Cleaners 3.1sqm / 33sqft	Disabled WC 3.5sqm / 37sqft	PHASE 4 / EXISTING
Existing Sports Hall Retained 370.5sqm / 3989sqft		
Sports Hall Extension 342.4sqm / 3685sqft		

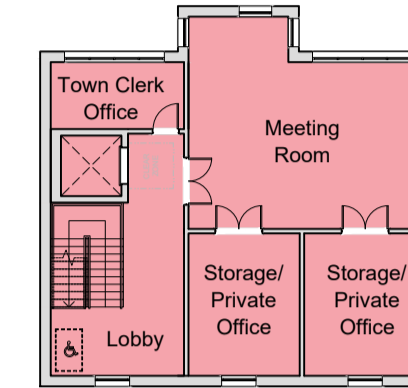
NOTE:
CAR PARKING PROVISION SHOWN EXCLUDES EV CHARGING PROVISION. ALLOWANCE TO BE CONSIDERED IN ACCORDANCE WITH LOCAL POLICY.

ACCESS RIGHTS & LEEWAY TO BE AGREED WITH COMPANY INSTALLING MAST AND COMPOUND.

CLIENT TO CONFIRM IF PROVISION FOR A LIFT IS REQUIRED FOR ACCESS TO FIRST FLOOR TOWN CLERK & ASSOCIATED OFFICE ACCOMMODATION.

KEY

- RED LINE BOUNDARY
Subject to Client confirmation TBC
- BLUE LINE BOUNDARY
Land within Applicant's ownership TBC
- EXISTING BUILDINGS
- Proposed Mast & Compound
(Under separate application)
- Existing Sports Hall
(Retained)
- Phase 1
- Phase 2
- Phase 3
- Phase 4
- Circulation with External Access
("Dirty Area")
- New Grass & Hedge Planting
- New/Made Good Tarmac Surface
- New Paved Surface
- New White Lining
- Key Building Access Points



PROPOSED FIRST FLOOR PLAN

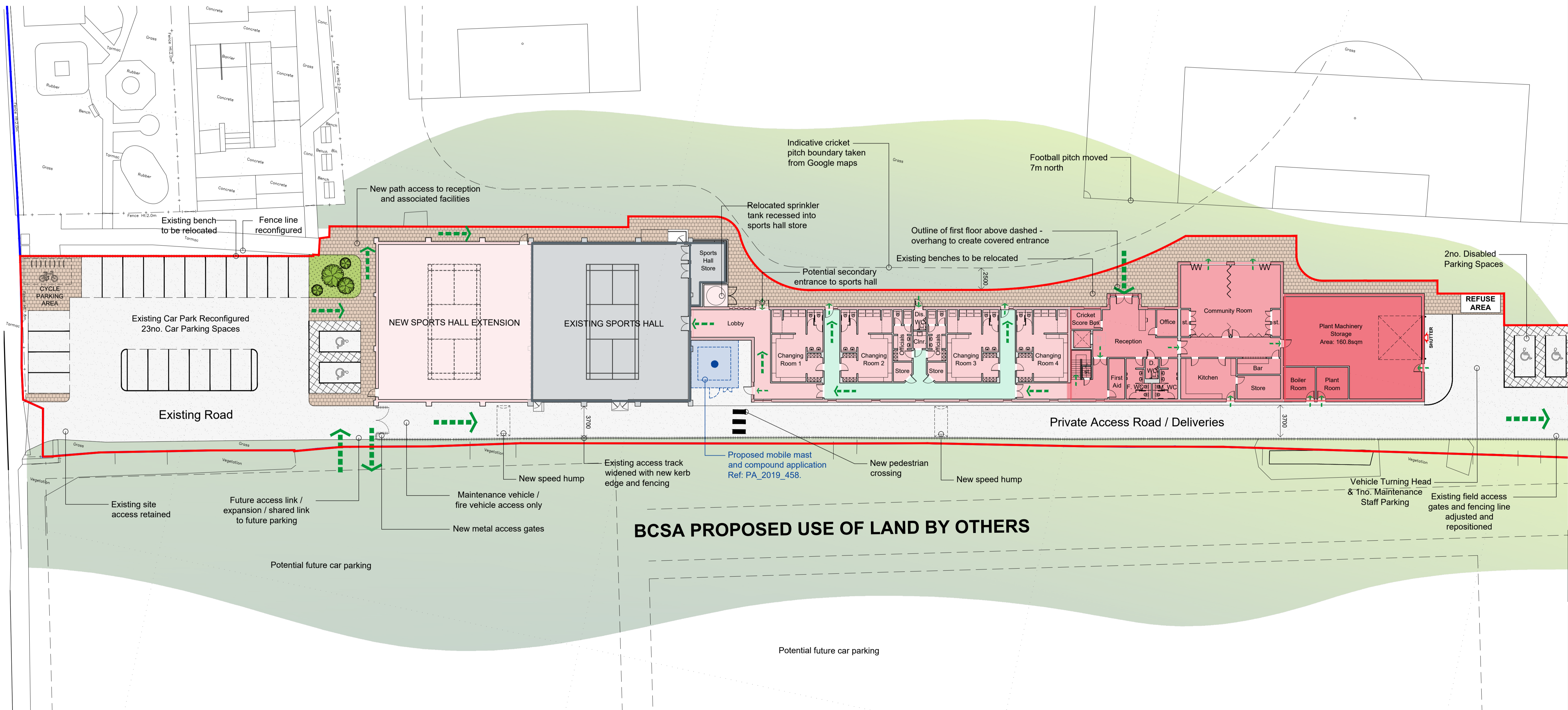
General Notes
Drawing based on Ordnance Survey data and subject to full topographical line and level survey.
All drawing information should be taken from figured dimensions only. Do not scale.

Disclaimer
All images used, where provided, are for illustrative purposes only and are intended to convey the concept and vision for the proposals. They are for guidance only. Floor plans and elevations, where provided, are intended to give a general indication of the proposed layout only.

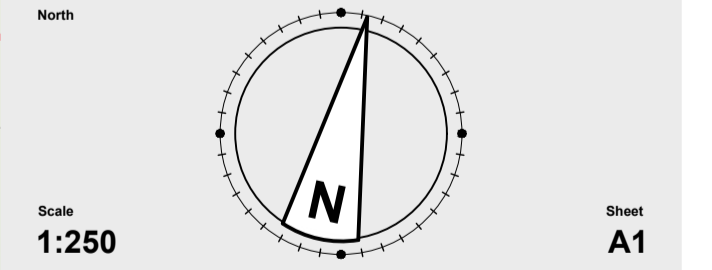
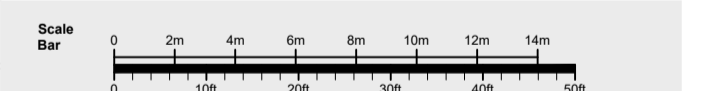
PLEASE NOTE THE FOLLOWING EXCLUSIONS AND ASSUMPTIONS:

- This drawing does not include any input from the wider Design Team.
- This drawing does not include any input from an M&E Services Engineer.
- This drawing does not include any input from an Structural Engineer.
- Floor areas stated are an approximate measure and do not include any allowances for internal wall linings or wall type construction.
- Structural requirements, wall construction, external and finished floor levels subject to further design development.
- Layout and design subject to confirmation of the Title Boundary and receipt of a full Topographical/Measured Building & Utility Survey information.
- This drawing is subject to design changes to meet Statutory requirements, Planning and Building Control requirements.
- This drawing is to be read in conjunction with the accompanying specification where provided.
- Proposals subject to sound testing requirements in accordance with Building Regulations Part B and Part E.
- Please note, no allowances made for internal wall linings.
- New party walls based on a nominal wall thickness of 300 mm.
- Floor plans subject to fire strategy review by fire consultant.

Topographical & Measured Building Survey
Drawing based on survey supplied by Greenhatch Survey Ltd.
Dated: 18.03.24
Drawing number(s): 50224



SKETCH



Scale: 1:250

Sheet: A1

Project: Broughton Community & Sports Centre
Scawby Road, Broughton, Brigg, Lincs. DN20 0AF
Client: Broughton Town Council
Project No: 24395

Drawing Title: Sketch Scheme Proposed Site Plan

Date: May 2024
Drawing No: SK_20

Drawn by: TV
Authorised by: NC

Revision: C

This drawing and design are © Copyright Align Architecture Ltd. No reproduction or alteration is permitted.