

- KEY**
- RED LINE BOUNDARY
Subject to Client confirmation TBC
 - BLUE LINE BOUNDARY
Land within Applicant's ownership TBC
 - EXISTING BUILDINGS
 - SPORTS HALL DEVELOPMENT PROPOSAL
 - New Grass & Hedge Planting
 - New/Made Good Tarmac Surface
 - New Paved Surface
 - New White Lining
 - Key Building Access Points
 - New Grasscrete Surface
 - New Grass Planting

NOTE:
CAR PARKING PROVISION SHOWN EXCLUDES EV CHARGING PROVISION. ALLOWANCE TO BE CONSIDERED IN ACCORDANCE WITH LOCAL POLICY.

ACCESS RIGHTS & LEEWAY TO BE AGREED WITH COMPANY INSTALLING MAST AND COMPOUND.

CLIENT TO CONFIRM IF PROVISION FOR A LIFT IS REQUIRED FOR ACCESS TO FIRST FLOOR TOWN CLERK & ASSOCIATED OFFICE ACCOMMODATION.

SITE PLAN 1:2500



General Notes
Drawing based on Ordnance Survey data and subject to full topographical line and level survey.
All drawing information should be taken from figured dimensions only. Do not scale.

Disclaimer
All images used, where provided, are for illustrative purposes only and are intended to convey the concept and vision for the proposals, they are for guidance only.
Floor plans and elevations, where provided, are intended to give a general indication of the proposed layout only.

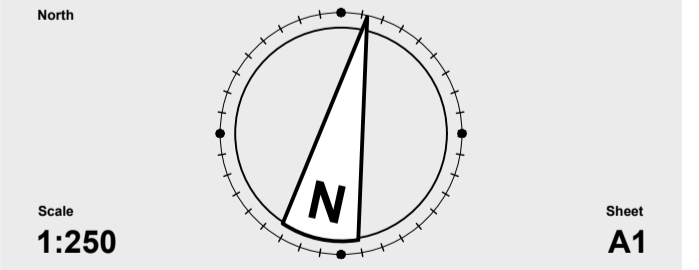
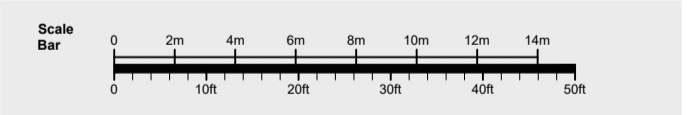
PLEASE NOTE THE FOLLOWING EXCLUSIONS AND ASSUMPTIONS:

- This drawing does not include any input from the wider Design Team.
- This drawing does not include any input from an M&E Services Engineer.
- This drawing does not include any input from an Structural Engineer.
- Floor areas stated are an approximate measure and do not include any allowances for internal wall linings or wall type construction.
- Structural requirements, wall construction, external and finished floor levels subject to further design development.
- Layout and design subject to confirmation of the Title Boundary and receipt of a full Topographical/Measured Building & Utility Survey information.
- This drawing is subject to design changes to meet Statutory requirements, Planning and Building Control requirements.
- This drawing is to be read in conjunction with the accompanying specification where provided.
- Proposals subject to sound testing requirements in accordance with Building Regulations Part B and Part E.
- Please note, no allowances made for internal wall linings.
- New party walls based on a nominal wall thickness of 300 mm.
- Floor plans subject to fire strategy review by fire consultant.

Topographical & Measured Building Survey
Drawing based on survey supplied by Greenhatch Survey Ltd.
Dated: 18.03.24
Drawing number(s): 50224

REV	DESCRIPTION	DRWN	AUTH	DATE

PRELIMINARY



Project
Phil Grundy Sports Centre
Scawby Road, Broughton, Brigg, Lincs. DN20 0AF
Client
Broughton Town Council

Project No. 24395

Drawing Title
Sketch Scheme Proposed Parking Strategy

Date
August 2024

Drawn by
KC

Authorised by
NC

Drawing No.
SK_24